



design standards manual

D O W N T O W N A C T I O N P L A N

2021



APPROACH

To implement the vision and development intent of the Downtown Action Plan, the design standards lay out a framework for when development proposals come forward. The Historic District characterizes much of downtown. However, there are transition areas that represent varying development character but with a similar mix of uses. Therefore, the standards for downtown require different review than other areas in Grand Forks.

Special standards for downtown focus on form and function over land use type, also known as form based standards. Form based standards have several differences from traditional zoning methods:

Advantages +

- Ensures a consistent streetscape in downtown.
- Ensures interesting and high quality building features.
- Maintains the relationship between the public and private realms.

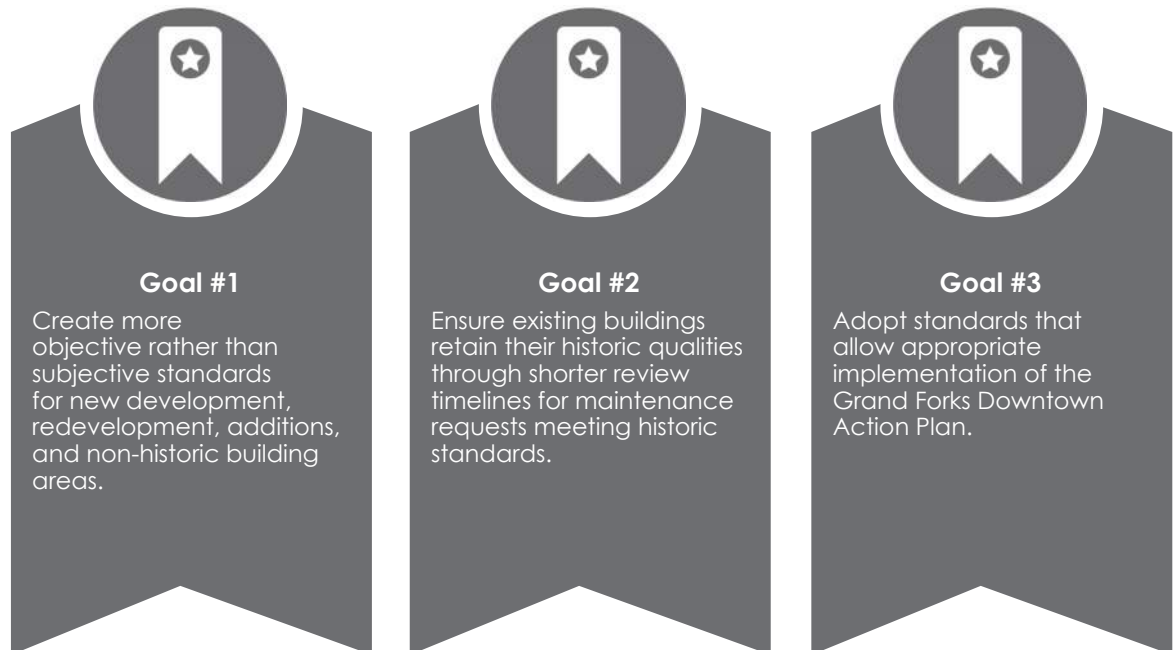
Disadvantages -

- Can be unfamiliar to staff and developers.
- Requires more detailed staff review, not to be confused with longer application time frames.

The approach for downtown Grand Forks includes a hybrid of form based standards adopted with the B-4 district standards in the existing zoning ordinance. Density is allowed and encouraged while prominent surface parking and significant impervious areas are discouraged. The two contexts for regulating these standards are the downtown core and downtown fringe areas.

The Design Standards provide guidance to those undertaking new construction and renovations in downtown Grand Forks. These standards identify the role and responsibilities of approving bodies, including the Downtown Design Review Board. These standards are intended to preserve and enhance the existing character and scale of the downtown area while facilitating new development.

A review and update to the Downtown Design Standards in 2020/2021 intends to meet the following goals:



The Standards are fully incorporated into the Grand Forks Municipal Code. When conflicts or questions from this Design Standards Manual arise, the standards adopted for the B-4 zoning district apply

STANDARDS BOUNDARIES

The "downtown area" subject to these standards includes the area within the B-4 zoning district.

Special standards for downtown focus on form and function over land use type. Density is allowed and encouraged while prominent surface parking and significant impervious areas are discouraged. Two contexts are regulated:

Downtown B-4 District - Core Area

The B-4 zoning district is the primary area people think about when referencing downtown Grand Forks (although many do not understand it as a zoning district). Past regulations have focused on the historic district; these standards apply to the B-4 District.

Uses

Uses in the B-4 District include those listed in the Grand Forks Municipal Code, Chapter XVIII, Land Development Code for the respective zoning district.

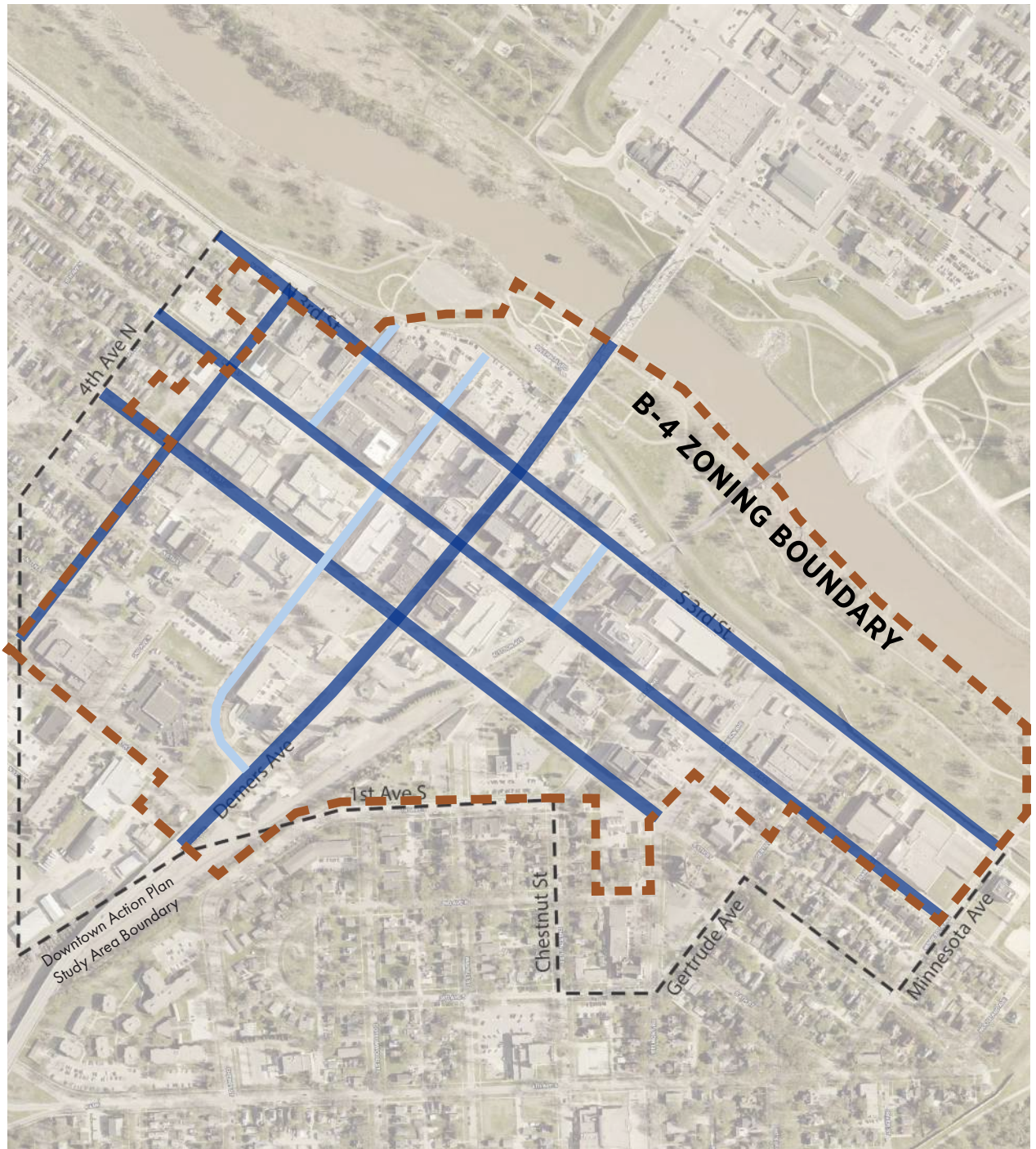
Major Streets

Major Streets are those of significant visibility and traffic. Various standards apply only to major streets and not others streets downtown.

The streets defined as "major streets" for the purposes of these standards include: DeMers Avenue, University Avenue, 3rd Street, 4th Street, and 5th Street. Note that DeMers Avenue and 5th Street are subject to certain DOT regulations that may override standards in this document.

Minor Streets

Minor Streets are those of visibility and moderate traffic. Minor Streets exhibit potential redevelopment projects in the future. Various standards apply only to minor streets and not other streets downtown.



PRINCIPLES

Exterior renovation and new construction shall follow these standards. Any exterior renovation of structures within the B-4 District - Downtown Core over 50 years old and a contributing structure in the Downtown Grand Forks Historic District shall comply with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, published by the U.S. Department of the Interior (1990 revision), which shall be referenced when applying the Design Standards.

1. **Siting.** New buildings, additions, and exterior renovations to existing buildings shall maintain a relationship with sidewalks and public streets by locating building entrances close to the street and keeping parking behind buildings as much as possible. Features along public spaces are encouraged and required at times to maintain pedestrian character and interest along the street.
2. **Parking.** New off-street parking as part of a new construction or renovation project shall be screened from view from the street, and be located behind, within, underneath, or between structures. Off-street parking in front of new buildings is prohibited.
3. **Massing and Scale.** Exterior renovation of an existing structure, within the Grand Forks downtown area shall reflect the historic context of the downtown in scale, bulk, massing, material, color, texture, line, and pattern. New construction or exterior renovations of non-historic structures that use contemporary designs must respect the historic character of their context and maintain the street building line established by their neighbors, including scale, bulk, and massing.
4. **Architecture.** Historic elements, distinguishing features, and examples of craftsmanship shall be preserved and not covered during alterations of existing structures. Where repair of elements or features are not feasible, similar replacements can be considered. Modern materials that have been applied to historic facades must be removed and not replaced. All materials used in facade renovations and new construction must be of high quality and durability to match or reflect existing contextual materials.
5. **Signage, awnings, fencing, and lighting.** These must not cover architectural facade elements, and must be in scale with the facade and immediate context. These elements must reflect historic examples in scale and placement within the district.
6. **Additions and Demolitions.** Additions shall be such that, were they to be removed, the essential form of the existing building would remain. However, additions on new construction can complement rather than mimic historic buildings through massing and scale while using modern design elements. Demolitions of historic buildings shall require additional review and alternatives before demolishing.
7. **ADA.** All new construction and renovations must comply with the Americans with Disabilities Act of 1990 (ADA).

BUILDING TYPES

Downtown Grand Forks has a mix of building types and the most prominent buildings reflect the historic character of the city. Therefore, the range of building types allowed for new construction and significant rehabilitation are limited to those listed in the Building Types table.

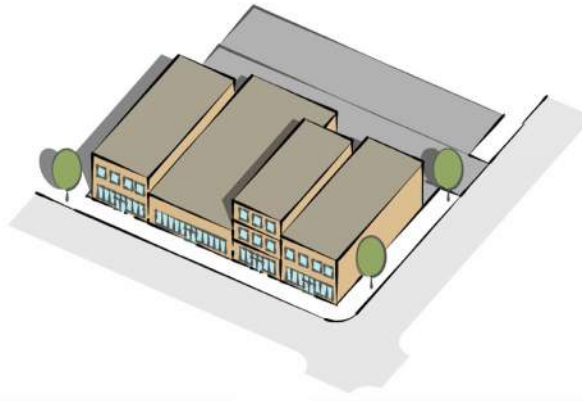
Building types are the basic building blocks to maintain the character of downtown. The regulation of building types is not intended to regulate building style. But rather, the form and interaction with public spaces. For example, two different storefront building types can look quite different pending compliance with other downtown regulations.

BUILDING TYPES

Building Type P=Permitted	B-4 District
Storefront	P
Civic	P
Parking Structure	P
Other Building Types near the Downtown District	
Row Building	Not Allowed
Cottage Residential	Not Allowed

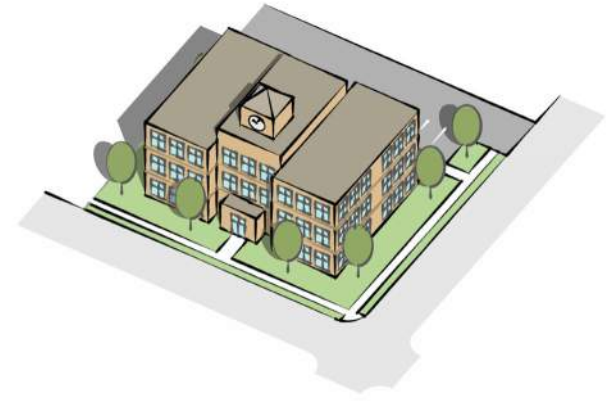
Storefront

A building with a non-residential entrance facing a major street that is built to the front property line for nearly all of the lot. There may be small breaks for entryway areas, plazas, or other public spaces.



Civic Building

A building for civic activities that may include significant public space at entrances and off-street parking on the side or rear.



Parking Structure

Structures allowed for vehicle parking that may be stand alone or incorporated into another building. Facades facing streets are integrated into the streetscape design and pedestrian environment. Parking is hidden as much as possible.

Row Building

A building with multiple residential or live/work units attached together with flexible front entryways and rear parking. Live-work or limited scale commercial/office uses can also function in the building design.

Cottage Residential

A single building for residential uses that typically includes a front yard, attached or detached garage, and is under two stories.



1. SITING

Siting standards affect the general layout of new construction and additions to existing properties. They intend to provide flexibility for creative design, while requiring the massing and setback of older downtown buildings be respected. Also, the standards reinforce the building coverage that is unique to downtown.

Principle

Any new construction or exterior renovation of an existing structure within the Grand Forks downtown area shall reflect the historic context of the downtown in scale, bulk, massing, material, color, texture, line, and pattern. Contemporary designs shall respect the historic character of their context, and shall maintain the street building line established by their neighbors. Additions shall be such that, were they to be removed, the essential form of the existing building would remain.

The Building Siting figure on the next page illustrates the design requirements.

Application

The following applies to all buildings in the B-4 District - Downtown Core.

1.1) The building coverage, or "footprint," of new structures shall be built at or close to the property line, up to at least the second floor for multiple-story structures.

1.2) When adjacent to a major street, main entrance(s) to all buildings shall be on the major street façade, with secondary entrance(s) as necessary from off-street parking areas or minor streets facades. If the building is not adjacent to a major street, the primary entrance shall be oriented toward a public street.

1.3) Building entries may be inset from the street facade, to allow for protection from the elements, at the first floor level only. Upper level balconies on street façade(s) shall also be set into the building, rather than projecting.

1.4) Entrances shall include focal point features of the ground level façade when provided on any side. Focal point methods include roofs/canopies, cloth awnings, ornamental paving, planters, traditional architectural detailing (piers, columns, trim, etc.).

1.5) All dumpsters and loading facilities shall be accessed from alleys or non-major streets. They must be screened from street view with fencing or landscaping (see Section 5 for standards regarding screening).

1.6) Equipment (such as air conditioner units or exhaust fans) shall be screened from view, and located either in rear of building or on the roof (see Section 5 for standards regarding screening). Mounting equipment on the façade is prohibited.

1.7) All site improvements are subject to design approval and shall be coordinated with the City's streetscape improvement specifications. Property owners shall coordinate with the City prior to undertaking the following:

- Repair or replacement of sidewalks or other paving.
- Alteration of sidewalk, parking lot, or planting bed grades or elevations.
- Installation of planters, benches, litter receptacles, bollards, or other street furniture.
- Planting of trees or other landscape material.
- Artificial plants are prohibited in any exterior planters in the downtown area, except as part of temporary seasonal decorations.

1.8) Residential uses on the ground floor of buildings are not appropriate in all locations. Ground floor residential uses are not allowed in the following areas:

- Along the first 40 feet of frontage at street intersections in the B-4 District - Downtown Core.
- When residential is permitted on the ground floor, residential dwelling units shall be located on a floor or floors at least three (3) feet above the elevation of any adjacent sidewalk.

Ground Floor Residential Limitations

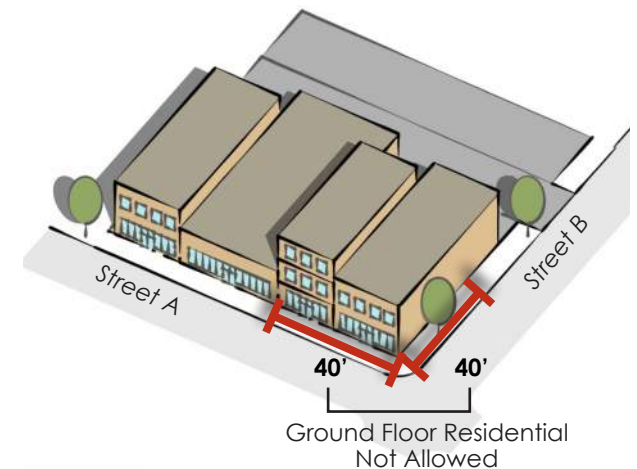
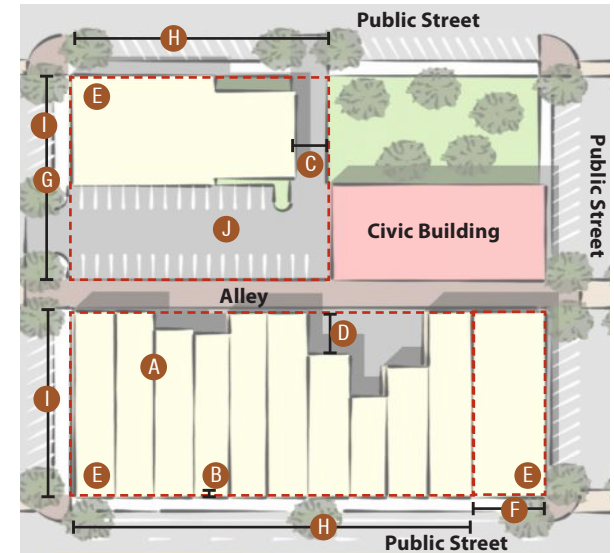


TABLE: Building Siting in the B-4 District - Downtown Core (Illustrative Example)

Standard ⁶	Storefront	Civic
A More Than One Principle Building Allowed per Lot	Permitted	Permitted
Setback or Established Yards as Seen by Neighboring Properties		
B Front ^{1,2}	0'-10' Maximum	5' Minimum
B Side Street ¹	0'-10' Maximum	5' Minimum
C Side (Minimum)	0'	5'
D Rear (Minimum) ³	0'; 5' next to alley ⁵ ; 15' next to a residential zoning district	5'; 15' next to a residential zoning district
E Corner Occupation ⁴	Required	Not required if public plaza or greenspace is provided at the corner
Property Line Build to Coverage		
F Front (Minimum)	90%	Not required
G Side Street (Minimum)	65%	Not required
Lot		
H Width	N/A	N/A
I Depth	N/A	N/A
J Impervious Coverage (Maximum)	100%	70%
Main Entry Location	Front or corner facade	One entrance per major street frontage

- Over 5' setback only allowed when there is a forecourt, stoop, shopfront entryway (awning, seating, etc.), or arcade entryway
- Required up to the second floor
- Rear yard setback may be reduced to 0' when an alley is present or when adjacent lots are approved under one development plan to ensure separation between buildings on different properties.
- Means that the building must be built with a 0' setback when the lot abuts two streets.
- When an alley is present, rear setbacks may be 0' if providing a consolidated location on the block to use for trash pick-up and larger deliveries.
- Encroachments into the right-of-way are approved through an encroachment agreement with the Engineering Department.

FIGURE: Building Siting, Block ▭ Property Line



2. PARKING AND ACCESS

These standards affect the location and layout of all off-street parking in downtown. They reinforce the continuous street façades and focus on pedestrian experience unique to the downtown area. Refer to applicable B-4 district regulations in the Municipal Code for other parking requirements.

Principle

New off-street parking as part of a new construction or renovation shall be screened from view from the street, and be located behind, within, underneath, or between structures. Off-street parking in front of new buildings is prohibited.

Application

The following applies to all buildings in the B-4 District - Downtown Core, and detailed further in the Table: Parking.

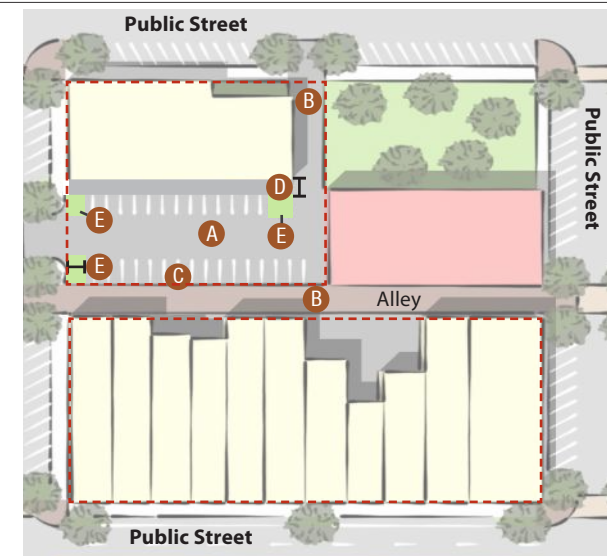
- 2.1) New off-street parking is prohibited in the front or street side of any building, and the side yard of buildings.
- 2.2) Access to off-street parking shall not be from a street, but rather a rear alley, side alley, or from a non-major street if an alley is not present.
- 2.3) Off-street parking shall be screened from view on major streets using one of the following:
 - Dense landscaping,
 - Open fencing and landscaping, or
 - A low masonry wall and open fencing (see section 5 for standards regarding fences).
 - Similar treatments on minor streets are strongly encouraged.
- 2.4) Covered parking – whether under a building, within a building, or in a separate parking structure – shall be screened from view from any street, either architecturally or with landscaping. Sloped parking ramps must not be visible on any building elevation.
- 2.5) A perimeter parking lot landscaping strip is required in the following locations and treatment:
 - Adjacent to residential and public streets must include dense landscaping, open fencing and landscaping, or a low masonry wall and open fencing.
 - Dense landscaping means evergreens and natural ground cover, or berm that forms a buffer at least 30 inches in height.
 - Landscaping means a natural ground cover planted with shrubs or trees.
 - Open fencing means a three foot decorative fence (refer to section 5).
 - Adjacent to building walls that requires natural ground cover and a five foot pedestrian sidewalk.
- 2.6) Interior parking landscaping is required for large lots where a parking space is not within 100 feet of a perimeter or interior landscaped area.
 - When provided or required, interior islands shall be at least 160 square feet each.
- 2.7) Pedestrian connections from parking areas are required:
 - Paved walkways shall be provided from all parking areas to building entrances or other pedestrian systems.
 - Walkways that cross driveways or other vehicle use areas shall be clearly defined with special materials such as textured concrete, brick pavers, or striping.
- 2.8) Stand alone surface parking lots as the primary use on a lot are prohibited.

TABLE: Parking in the B-4 District - Downtown Core (Illustrative Example)

Standard	Storefront	Civic
Parking		
A Parking Location ¹	Under building or rear yard	Under building or rear yard
B Access Location ²	Improved alley; if no alley exists, one driveway from an un-designated or minor street frontage.	Improved alley; if no alley exists, one driveway from a minor street frontage.
Parking Lot Buffering (Minimum)		
Street Setback	Parking not allowed	Parking not allowed
B Side Setback	Parking accessed from an alley or driveway from an un-designated or minor street only	Parking accessed from an alley or driveway from an un-designated or minor street only ^{0'}
C Rear Setback	0'	0'
D Building wall setback ³	6'	6'
Adjacent to Single-Family Residential	10'	10'
Lot Landscaping		
5' Perimeter	Required adjacent to residential districts and single-family uses, public streets, and building walls.	Required adjacent to residential districts and single-family uses, public streets, and building walls.
E Internal	Required so that all spaces are within 100' of a perimeter or interior landscaped area.	Required so that all spaces are within 100' of a perimeter or interior landscaped area.

1. Parking not allowed between building and public streets. Parking only allowed to the back or side of buildings.
2. On corner lots, primary parking access shall not be from a major street.
3. There must be a buffer from parking spaces to the building that provides a walkway or landscaping strip.

FIGURE: Parking, Block [---] Property Line



3. MASSING AND SCALE

Massing and scale refer to the size of buildings and relationship with the public environment. These standards will affect the architectural treatment of new and existing structures so existing historical features are maintained and respected by new buildings and additions.

Principle

Any new construction or exterior renovation of an existing structure within the Grand Forks downtown area shall reflect the historic context of the downtown in scale, bulk, massing, material, color, texture, line, and pattern. Contemporary designs must respect the historic character of their context and maintain the street building line established by their neighbors. Additions shall be such that, were they to be removed, the essential form of the existing building would remain. However, new construction can complement rather than mimic historic buildings through massing and scale while using modern design elements.

Application

The following standards apply to all buildings in the B-4 District - Downtown Core.

3.1) The first story of downtown buildings shall be designed to reflect a pedestrian scale, taking cues from existing downtown buildings whose historical integrity remains intact.

3.2) Buildings shall meet the ground with a solid masonry or metal panel base treatment that creates a visual transition from sidewalk to building wall (see Figure: Articulation Definitions on page 13).

3.3) On existing buildings, the original cornice detail, height, and profile shall be maintained and repaired as needed (see Figure: Building Massing and Scale Application on page 13 and the Glossary of terms).

3.4) If new structures or additions are taller than immediately adjacent older buildings, existing cornice height(s) must be reflected on new elevations with an upper floor setback, façade material change or string course (see Figure: Articulation Definitions on page 13).

3.5) New structures shall be designed to utilize flat roof and parapet wall construction similar to that of existing structures. Mansard roofs, dormer windows, pediments gables, and visible pitched roofs are not appropriate in the downtown core. Pitched roofs may be allowed in the downtown fringe areas.

3.6) Windows and doors shall reflect the historic types found in the downtown area in scale, proportion, and construction. Historic storefront windows and entry doors can utilize modern frame systems if necessary, but glazing shall not extend to the ground (see Figure: Building Massing and Scale Application on page 13).

3.7) Existing windows and doors, including transom windows at the first floor, shall be exposed and repaired where possible. New windows and doors on contributing historic structures shall reflect the original style if replacement is necessary. New openings shall not be cut into buildings and original opening sizes shall not be reduced, enlarged, or filled in.

3.8) Upper-floor windows in new construction shall typically be individual openings in solid wall planes, reflecting the historic proportions of existing window openings found in the downtown area.

3.9) The following window and door types are not appropriate in historic buildings in the B-4 District unless listed on the National Register with those design elements:

- Curtain wall glazing systems.
- Horizontal or vertical strip windows.
- Mirrored or visibly reflective glazing.
- Fully glazed or nearly fully glazed doors (though they may be considered acceptable on secondary elevations).

3.10) Existing and new doors must comply with all accessibility and life safety codes, while still reflecting an appearance in keeping with the original character of the building. Example entryways for different contexts are shown on page 14.

3.11) Rooftop decks are permitted for all uses subject to the following standards:

- The roof deck access structure may not exceed 10 feet in height above the surface of the roof deck. Roof deck access structures must meet the same setback requirements as the associated roof deck.
- The deck must be set back at least 8 feet from the front or street side face of the building wall. No setback is required from the face of the building wall on rear and non-street sides.

TABLE: Building Massing and Scale in the B-4 District - Downtown Core (Illustrative Example)

Standard	Storefront	Civic	Row	Cottage Residential
Height				
Minimum	2 stories	1 story	1 story	1 story
A Maximum	N/A	N/A	3 stories	3 stories
B Ground Floor Story (Minimum)	14'	10'	N/A	N/A
Street Facades ^{1, 2}				
C Street or Public Space Facing / Side Yard - Ground Floor Transparency (Minimum)	70% / 25%	15% / 15%	15% / NA	10% / NA
D Upper Floor Transparency per story (Minimum)	15%	15%	15%	10%
E Street or Public Space Facing Blank Wall Requirement	Ground floor: No square area more than 25% of the ground level facade without a window Upper floors: No blank wall over 25' by 20' without windows or architectural changes ³		Not Required	Not Required
F Street, Public Space, or Side Yard Facing Vertical Articulation ³	Vertical bays at most every 50' in width.	Not Required	Not Required	Not Required
G Street, Public Space, or Side Yard Facing Horizontal Articulation	Within 3' of first floor height	Not Required	Not Required	Not Required
H Ground Base Panel				
Material	Masonry or Metal	N/A	N/A	N/A
Height	1' - 3'	N/A	N/A	N/A
I Roof Types ⁴	Parapet, flat	Parapet, flat, pitched, other	Parapet, flat, pitched, other	Parapet, flat, pitched, other

1. All buildings must have a primary ground-floor entrance that faces a major street, or if not located on a major street, a minor street or side street.
2. Rear-facing buildings, loading docks, overhead doors, and other entries for service trucks and carts are prohibited on street-facing facades. This does not mean doors that lift up in seasonal weather to provide outdoor seating and air circulation.
3. Bays are differentiated by color, materials, roof form, articulation details, window arrangement, building heights, roof forms.
4. Mansard roofs, dormer windows, and pediment gables are not allowed

FIGURE: Building Massing and Scale Application

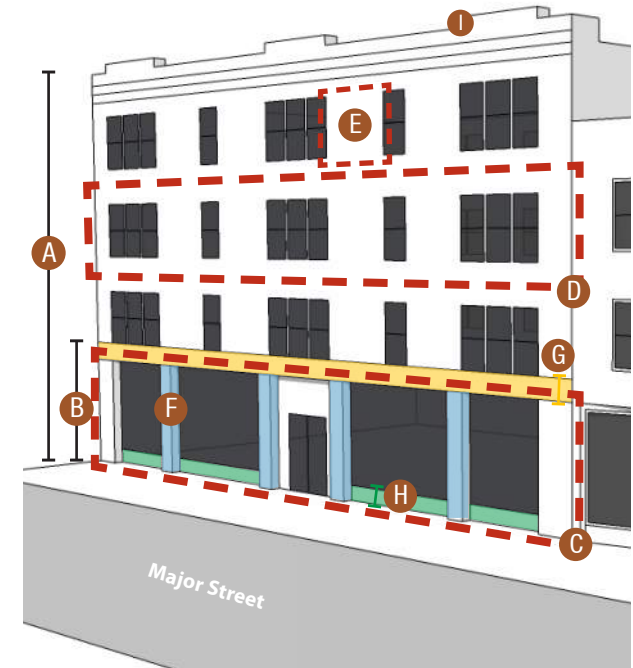


FIGURE: Articulation Definitions



Example Entryway Types

Entrances to buildings shall follow the standards for facade transparency and be oriented toward the street. Pedestrian scale elements shall be required to bring focus to building entrances such as over entrance lighting, weather protected entrance features, business signage, or other elements described as appropriate in the design standards.

Different frontage types are appropriate in the B-4 District - Downtown Core, and also major versus minor/undesignated streets.

B-4 District

- **Storefront.** A storefront is a highly transparent ground story treatment designed to serve primarily as the display area and primary entrance for retail or service uses.
- **Arcade.** An arcade is a covered pedestrian walkway within the recess of a ground story.

Character of Areas Around the B-4 District

- **Stoop.** A stoop is a frontage where the building façade is aligned close to the front setback line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. A stoop is required when a residential use is present on the first floor.
- **Porch.** A porch is a planted frontage wherein the building façade is set back from the front setback line with an attached porch. A fence may be allowed at the front setback line to maintain the street spatial definition.
- **General Yard.** A general yard is a planted frontage wherein the façade is set back substantially from the frontage line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep setback provides a buffer from the higher speed thoroughfares.



FIGURE: Building Massing and Scale Application

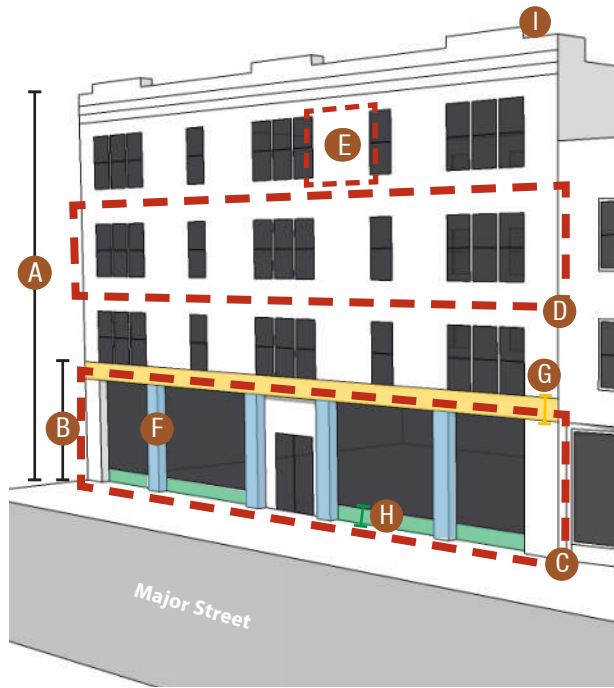


FIGURE: Articulation Definitions



Massing and Scale Precedent Examples



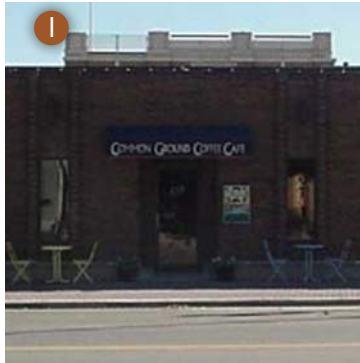
Ground Base and Vertical Articulation



Upper Transparency and No Blank Walls



Corner Entryway / Appropriate Features



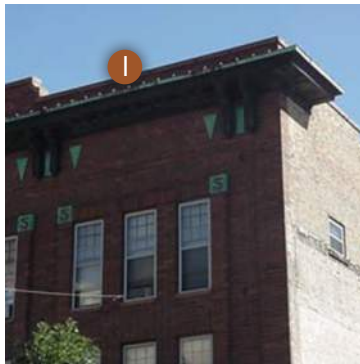
Example Roof Style



Modern Vertical Articulation Changes



Corner Entryway / Appropriate Features



Example Roof Style



Appropriate Design Features and Scale



Non-Historic Example

4. ARCHITECTURAL MATERIALS

It is the goal of these standards to establish a method for the development of a cohesive architectural aesthetic downtown. The following palette of construction materials and thoughtful mix of architectural styles and orientations of structures coupled with the standards found throughout this document will work to develop a sense of downtown identity and balance between new and old buildings.

Principle

Historic elements, distinguishing features, and examples of craftsmanship are to be preserved and not covered during alterations of existing structures. Where repair of elements or features are not feasible, like replacements can be considered. Modern materials that have been applied to historic facades must be removed and not replaced. All materials used in façade renovations and new construction must be of high quality and durability to match or reflect existing contextual materials.

Application

The following application standards apply to all buildings in the B-4 District - Downtown Core.

- 4.1) Table: Architectural, Primary Materials for Historic Buildings on the next page lists the permitted external materials for contributing historic structures as identified in the National Register nomination for the Downtown Grand Forks National Historic District. The primary material table is used when renovating or adding additions that are consistent with the original building materials.
- 4.2) New construction and non-contributing historic structures as identified in the Grand Forks Downtown National Register nominations are allowed flexibility in façade material subject to the special exception and prohibited material tables.
- 4.3) Colors shall include earth tones, neutrals, and primary colors at the discretion of the City of Grand Forks under the review procedures on page 23.
 - Earth tones are defined as those that were available during the appropriate time period of significance determined for the Grand Forks Downtown Historic District.
 - Vibrant primary colors could be allowed to accent architecturally significant building detail but must contribute to the building's overall attractiveness and design.
 - No more than three colors shall be used on each façade unless evidence shows different historical colors used.
- 4.4) Contrasting trim color(s) can be used to highlight architectural elements, such as windows and door trim.
- 4.5) Applied elements – awnings, signage, light fixtures, and so forth – shall coordinate with, rather than overwhelm, the architectural color scheme of the building.
- 4.6) All original brick façades of existing buildings shall be left unpainted, clean, and in good repair.



- 4.7) If equipment is mounted behind louvered panels for ventilation purposes, louvers shall be oriented to conceal the equipment from view, and shall be finished to match the adjacent wall color (rather than a contrasting trim color) to minimize their visual impact.
- 4.8) If balconies are proposed on any downtown buildings along major streets, they shall be inset into the building at street façades, with solid partial height enclosures integrated into the building's architecture. Balconies on minor street façades shall be subject to the material requirements outlined in Section 5 (Fences and Railings) of these standards.
- 4.9) Existing and new doors must comply with all accessibility and life safety codes while still reflecting an appearance in keeping with the original character of the building.
- 4.10) Facades over 100 square feet shall use more than one material.

TABLE: Architecture, Primary Materials for Historic Buildings

Historic Building Permitted Materials ¹ P = Permitted	Storefront	Civic
Fired clay brick, full veneer masonry wall system	P	P
Natural stone, full veneer masonry wall system	P	P
Integrally colored, specialty concrete block such as textured, burnished, concrete masonry units (CMU)	P	P
Limestone - White, light buff, and course yellow	P	P
Non-tinted glass	P	P
Cast stone	P	P
Terra Cotta	P	P
Anodized aluminum with baked on enamel.	P	P
Wood - (painted or stained when used as trim <25% of facade)	P	P

1. Similar materials may be approved if demonstrated they have comparable durability and impact resistance (based on manufacturer's specifications), aesthetic quality, and historic context defined by the Secretary of Interior Standards

TABLE: Prohibited and Special Exception Materials From Use On Any Building (limited to % shown)

Prohibited and Special Exception Material <i>Any material of similar durability and impact resistance (based on manufacturer's specifications), aesthetic quality, and context of those listed as prohibited may also be prohibited by the DDRB.</i>	Storefront	Civic	Non-Street Facing or Alley Facing Facade
Stucco, traditionally applied	0%	0%	0%
Corrugated or ribbed metal panel	0%	0%	<25%
Plywood	0%	0%	0%
Painted brick (brick and stone shall be colored only by means of pigment impregnation throughout the entire material)	0%	0%	0%
Plastic/vinyl siding	0%	0%	0%
Thin Veneer Brick or Tile (Adhered)	0%	0%	0%
Manufactured or cast stone veneers (adhered)	0%	0%	0%
Weathering steel (Corten)	0%	0%	<25%
Cast in Place concrete	0%	0%	<25%
Rustic-finished wood (such as unfinished siding, diagonal siding or wood shingle wall cladding)	0%	0%	0%
Imitation rock or marble work	0%	0%	0%
Asphalt, wood, or synthetic roof shingles (as applied on a vertical facade elevation. This material regulation does not apply to roofs)	0%	0%	0%
Large-aggregate concrete wall panels	0%	0%	0%
Tilt-up concrete wall panel system	<25%	<25%	<50%
Glass block	<25%	<25%	<50%
Textured architectural concrete panels	<50%	<50%	<75%
Copper or Zinc metal panels	<50%	<50%	<75%
Fiber Cement wall panel systems, insulated or rain screen assemblies	<50%	<50%	<75%
Water-managed Exterior Insulation and Finish System (EIFS)	<25%	<25%	<25%
Fiber-cement siding	<50%	<50%	<75%
Smooth faced concrete masonry units (CMU)	<25%	<25%	<75%
Glass curtain wall system	<25%	<50%	<25%

5. AWNINGS, FENCES, RAILINGS, & LIGHTING

Awnings, fences, railings, and lighting are functional and aesthetic features that may be applied to building façades and sites throughout the downtown area. Standards allow flexibility for design while ensuring that each are used appropriately.

Principle

Signage, awnings, fencing, and lighting must not cover architectural façade elements, and must be in scale with the facade and immediate context. These elements must reflect historic examples in scale and placement within the district.

Note: Streets regulated by the North Dakota Department of Transportation (DOT) require additional permits through the DOT for any encroachments or lighting in the right-of-way, including awnings.

Application - Awnings

The following application standards apply to all buildings in the B-4 District - Downtown Core.

5.1) Protected entries and covered arcades on new construction are encouraged.

5.2) Visually coordinated, full-width awnings are encouraged on both new and existing buildings to facilitate a continuous pedestrian environment.

5.3) Awning configuration shall coordinate with adjacent building awnings in height, width, and profile.

5.4) Awnings shall not cover architectural elements or occupy more than 40% of the façade area measured by the first floor height multiplied by the building bay width.

5.5) Simple pitched awning profiles, either retractable or fixed, are most appropriate on major and minor streets.

5.6) Awning colors shall coordinate with the building façade color scheme.

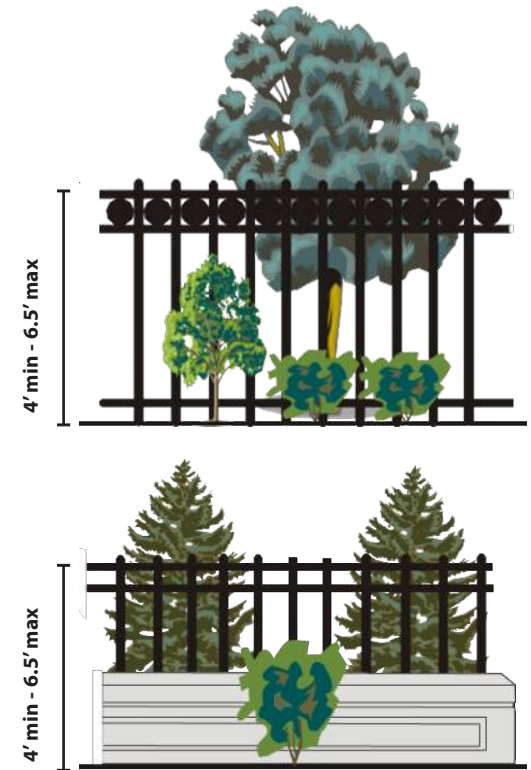
5.7) Weather-treated fabric awnings are encouraged. Vinyl and metal awnings may be used if other design standards are met.

5.8) Internally illuminated and back-lit awnings are prohibited.

Application - Fences

5.9) Fences used to screen parking areas from view must be between 4'-0" (48") and 6'-6" (78") in height. Masonry or other enclosures for equipment and dumpsters must be at least 6'-0" (72") in height and fully screened.

5.10) Wrought iron open fencing is allowed for the shielding of parking areas from view from the street if utilized in conjunction with landscaping and if finished in a dark, solid color.



5.11) Masonry walls may be installed for the following purposes:

- As full-height enclosures for equipment and dumpster holding areas behind downtown buildings.
- As partial-height enclosures (2'-0" maximum) for downtown parking areas, if used in conjunction with wrought iron fencing and / or landscaping.

5.12) Wood fencing shall only be used to enclose equipment and dumpster holding areas behind downtown buildings, and must be painted a dark, solid color.

5.13) Chain link fencing is not permitted unless temporarily installed in the rear yard.

5.14) Railings at ramps, stairways, and balconies are subject to applicable life safety and accessibility codes, and not to occupy more than 40% of the façade. The following types are allowable:

- Inset balconies (required at major street façades) shall use partial-height solid enclosures integrated with the architecture of the building in lieu of open railings.
- Projecting balconies (allowed at non-major street façades) shall use decorative metal railings coordinated with the design and color scheme of the building. Wooden railings are not appropriate for exterior use in the downtown area.



Application - Lighting

5.15) Lighting of building façades shall serve only to illuminate entries, adjacent pedestrian areas and displays, or to highlight significant architectural features above the first floor.

5.16) Lighting may be placed at doorways, below awnings, in display windows, and as needed to illuminate signage or historic elements (refer also to the Signage section of these standards).

5.17) Historically sensitive fixtures and appropriately scaled contemporary fixtures are permitted.

5.18) The following lighting types are not allowed:

- Visible fluorescent bulbs.
- Neon lighting on building exterior (except signage per section 6).
- Colored bulbs, except for temporary, seasonal decoration.
- Internally illuminated awnings.

5.19) Exposed or painted metal finishes are most appropriate for lighting fixtures. Fixture color(s) shall be muted, and coordinate with the façade and signage color scheme.



Gooseneck Fixture



Wall-mounted Lantern



Shielded Fluorescent

6. SIGNAGE

Signs are a distinguishing feature of a building and lots in the downtown area. Standards allow design flexibility while ensuring signage applies to both existing and new structures appropriately and in a coordinated manner.

Principle

Signage, awnings, fencing, and lighting must not cover architectural façade elements, and must be in scale with the façade and immediate context. These elements must reflect historic examples in scale and placement within the district.

Application

The standards apply to all buildings in the B-4 District - Downtown Core.

Note: Streets regulated by the North Dakota Department of Transportation (DOT) require additional permits and approvals through the DOT for any signage in the right-of-way.

6.1) Signage must comply with City sign ordinance regulations, including total square footage allowed per business. Refer to the Grand Forks Municipal Code for all applicable standards.

6.2) Signage must be integrated with architectural façade elements and not cover architectural details.

6.3) Signage must not project above the cornice line or be mounted on the roof of any downtown building.

6.4) Primary signage must be located in the space above the first floor windows and below second floor windows. Off-premise signage is not allowed.

- For multi-story buildings, one primary sign per street frontage may be located on the third story or above. The sign must be no more than 32 square feet in total sign area.

6.5) Signage must comply with ADA regulations.

6.6) A sign on an awning can be located on the narrow vertical face or top with a maximum size of one square foot per linear foot of awning/canopy width.

6.7) Street numbers must be prominently displayed at the main entrance to the building and visible from the street.

6.8) Plaque signs mounted directly to building façades beside secondary entrances (such as to second floor offices) are permitted if 4 square feet or less in size, and if in compliance with the other requirements of this section.

6.9) Projecting signs bracketed to building façades beside or above doorways are permitted if:

- There is an eight foot clearance zone on the sidewalk.
- The sign projects no more than six feet from the wall.
- The sign is no larger than 18 square feet.
- The sign is compliant with other requirements of the standards and Municipal Code.

6.10) Signage painted or affixed directly on storefront glass is permitted on ground floors only, but shall not cover more than 20% of a single windowpane.

6.11) Vinyl signage can be applied directly onto window and door glazing at the first floor subject to the size limits in 6.10.

6.12) Temporary signs may be hung on the inside of storefront windows or displayed outside ("sandwich sign" style), subject to the requirements of this section and applicable City ordinances. Temporary signs must not exceed more than 30 days with the same message unless a sandwich sign obtains an approved City permit as required in City ordinances.

6.13) Illuminated signs. Individual letters and signs illuminated by wall-mounted fixtures, internally illuminated cabinets with routed faces for illuminated elements, and illuminated channel letters are permitted. Illuminated wall cabinets are prohibited.

6.14) Neon signs are permitted, but the gross sign area may not exceed five percent of the building face.

6.15) Signage graphics are subject to the following regulations:

- Signs must contain a minimum of wording and the minimum reasonably readable type size (ADA requirements must be met).
- Font styles shall be limited to one or two easily readable styles per business.
- Dark lettering on a light background is encouraged, and sufficient visual contrast is required (ADA requirements must be met).
- Colors must complement the storefront. Excessively bright or neon colors shall not be used.
- Wood, metal, stone, and fabric are recommended materials.

6.16) The following sign types are prohibited:

- Internally illuminated awnings.
- Flashing signs.
- Moving signs or signs with moving elements.
- Signage painted directly onto building



7. SUPPLEMENTAL ELEMENTS

Additions and demolitions have special considerations for historic buildings and their impact on the historic district. The following standards apply to existing contributing historic structures in the downtown Grand Forks Historic District.

Principle

Additions and Demolitions. Additions shall be such that, were they to be removed, the essential form of the existing building would remain. However, additions on new construction can complement rather than mimic historic buildings through massing and scale while using modern design elements. Demolitions of historic buildings require additional review and alternatives before demolishing.

Additions

Additions to existing contributing historic buildings are allowed subject to the following standards:

- 7.1) The addition is located on the side or rear façade.
- 7.2) The addition shall be subordinate in size and scale to the principal building as measured by the standards in section 3.
- 7.3) Design reflects the Downtown Design Standards and Secretary of the Interior Standards for historically contributing structures.

Demolitions

The demolition of contributing historic structures shall only occur under extreme circumstances. Prevention of structural deterioration shall be the first priority for enforcement in compliance with the Grand Forks Municipal Code. The applicant and City shall consult with the Grand Forks Historic Preservation Commission on the appropriateness of demolition. For unavoidable demolitions, the following standards apply:

- 7.4) All demolitions of contributing structures require special review by the DDRB and City Council. If demolitions occur without the approval of the City Council, then appropriate legal action may be taken subject to section 18-1101 Violations, Penalties, and Fees of the Grand Forks Zoning Code.
- 7.5) Prior to demolition, a plan shall be submitted on how the property will be used after demolition. Plans shall follow the standards outlined in 18-0217 B-4 Central Business District, of the Grand Forks Municipal Code.
- 7.6) A person found guilty of demolition of a contributing historic property by neglect or without required approvals shall be fined an amount set out in the fee schedule established by the City Council, as amended from time to time.
- 7.7) A structure proposed for demolition that is deemed "unfit for human occupancy" is permitted. The property owner shall include a plan for post demolition that follows the regulations of the Downtown Design Standards.



Examples of Demolition Ordinances:

- Wisconsin Historical Society Guides, Demolition by Neglect: Enforcement Actions. www.wisconsinhistory.org/Records/Article/CS231

APPLICATION PROCEDURES

The application procedures for a project in the B-4 District - Downtown Core are shown in the diagram at right. Below are criteria for extended review:

Review Procedures

1. **Staff reviews and approves all items.**
2. **Staff shall review and only refer applications to DDRB for approval that involve:**
 - Demolitions, which also require approval by the City Council.
 - Redevelopment of an existing site that changes the footprint of an existing building by more than 20 percent. A second change under 20 percent on the same building within a three year period from the last change.
 - Any new development.
 - Additions to existing buildings.
 - Accessory buildings and structures.
 - Addition, relocation, and modifications other than replacement of windows and doors that do not alter the existing dimensions on façades facing any street or public space.
 - Changes in architectural materials on a façade by more than 25 percent.

Criteria for review

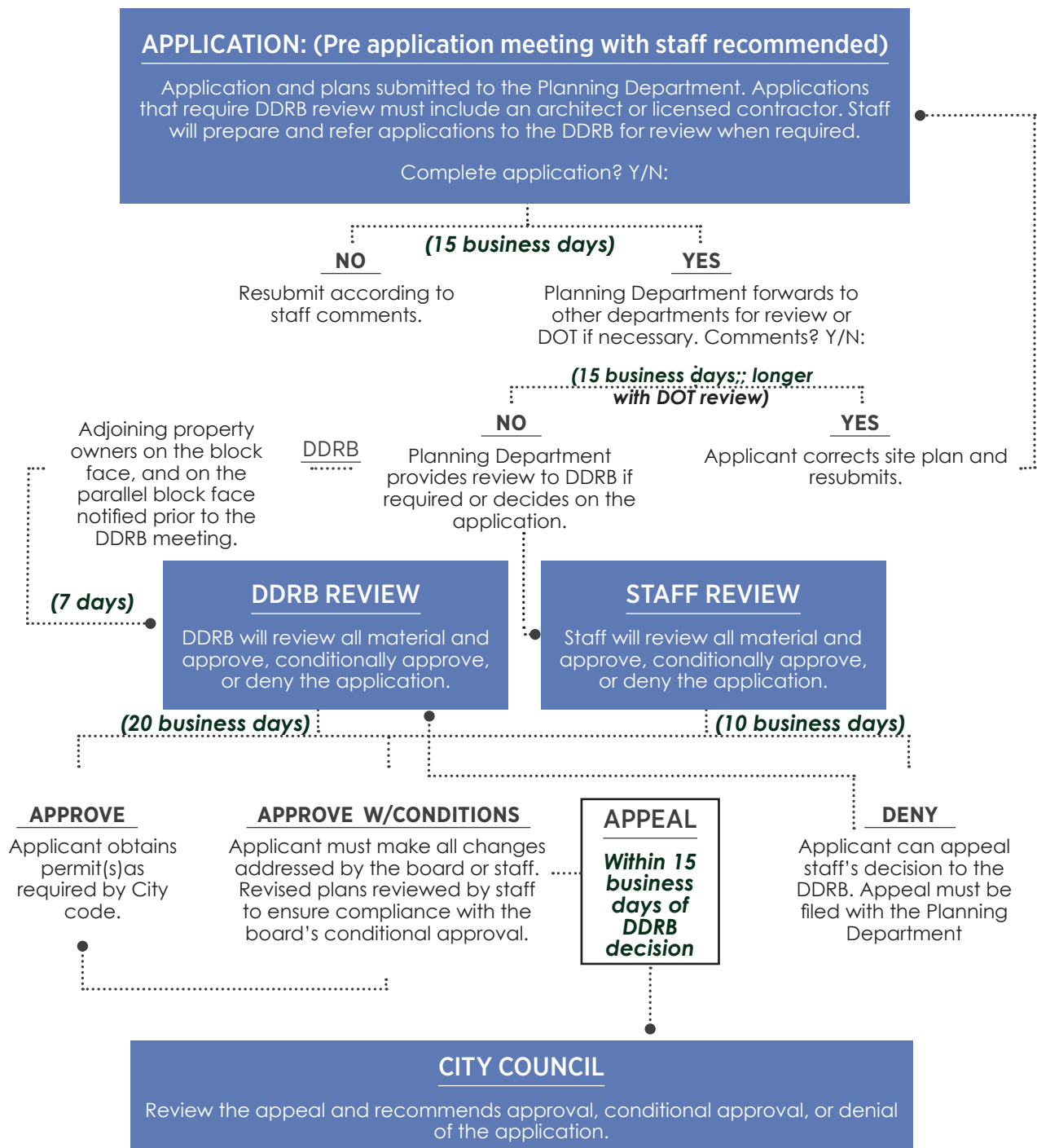
- Secretary of the Interior Standards for contributing structures to the Downtown Grand Forks National Historic District.
- Downtown Grand Forks Design Standards
- Other Applicable Zoning Ordinance Regulations

Appeals and Hardship

Appeals to any staff, board, or council decision shall follow the same procedures as Article 6, Section 18-0603 Appeals.

Enforcement Provisions

Enforcement of the Downtown Design Standards is the same as the Grand Forks Code of Ordinances Chapter XVIII, Article 11 – Violations, Penalties, and Fees.



GLOSSARY

Aggregate: The solid material, such as sand or stone, used in making concrete.

Alley: A service way providing a second means of access to properties, often from between or behind, and often one lane wide.

Arcade: A covered passageway to an entryway.

Articulation: The giving of emphasis to architectural elements (like windows, balconies, entries, etc.) that create a complementary pattern or rhythm, dividing large buildings into smaller identifiable pieces. Articulation can be vertical from the ground up or horizontal across all or a portion of a façade, generally parallel to the ground.

Awning: A roof-like covering extending from a building to shield a sidewalk, window, or entrance from the elements often made of fabric stretched over a metal frame.

Base: Bottom section, or “pedestal,” on which a façade or column visually stands.

Bay: A vertical division of a building façade suggesting the underlying structure.

Bay window: A window structure that projects out from the building façade.

Bollard: A low post, often one of a series, set in the ground to prevent motor vehicles from entering an area.

Blank wall: A ground floor wall or portion of a ground floor wall with no square area more than 25% of the ground level facade that does not include a transparent window, door or architectural changes. Also, an upper floor wall with no area over 25' by 20' without windows or architectural changes.

Canopy: An overhead roof like structure that has open sides, usually to provide shelter from weather, but may also be used for decorative purposes.

Character: Distinguishing features or attributes.

Column: A vertical support member consisting of a base, cylindrical shaft, and decorative capital.

Compatible: Capable of existing together harmoniously; in agreement.

Contemporary: Here, current, or modern.

Context: Here, the visual and functional surroundings in which a particular building occurs.

Cornice: The molded, often projecting horizontal decorative member uppermost on a building façade.

Curtain wall: A non-load bearing wall assembly, often consisting mostly of clear and/or opaque glass panels in a metal framework.

Dormer window: A window in a projection built out from a sloping roof.

Dumpster: A large waste container, usually stored outside and emptied mechanically by a garbage truck.

Elevation: Here, the front, side, or rear view of a building.

Façade: The exterior face of a building, especially the principal and most ornamental face.

Fascia: Here, flat horizontal band or member often set off with moldings on the elevation of a building.

Fenestration: The design, proportioning, and disposition of windows and other exterior openings of a building.

Forecourt: An open court in front of a building or group of buildings that is partly surrounded by walls or buildings.

Gable: Here, the triangular shape on an elevation created by the end of a pitched roof.

Historic: Having an importance in or an influence on history; surviving from an earlier time period.

Historic Building: A building or structure that is deemed a contributing historic structure as identified in the National Register nomination for the Downtown Grand Forks National Historic District.

Human scale: The sizes of elements which relate to the size of people.

Integrity: Being whole or undivided; having internal consistency.

Lintel: A horizontal member spanning and carrying the load above; an opening (usually a window or door).

Mansard: Here, a steeply pitched roof section visible on the elevation of a building.

Massing: The visual shape, weight, and balance of a building.

Molding: A decorative band of material with an ornamental profile, used to delineate parts of a façade or to frame around door or window openings.

Mullion/Muntin: The slender divider between panes of glass in a window.

Ornament: Something that decorates or embellishes helping to establish a style and character.

Parapet: The part of a wall that continues above concealing the roof.

Pediment: Here, a triangular shape applied to a façade that suggests a pitched roof behind, derived from Classical architecture.

Pier: A solid masonry support member.

Pilaster: A shallow, rectangular column attached to a wall.

Pitch: Slope, usually of a roof or an awning.

Porch: A covered area adjoining an entrance to a building and usually having a separate roof

Profile: Cross-section.

Proportion: A part considered in relation to the whole, with respect to comparative size, quantity, or placement.

Prototype: An early or typical example that serves as a model for later development.

Renovation: Restoring to an earlier condition, from Latin words meaning “again” and “make new.”

Right-of-way: A publicly controlled strip of land containing at least one of the following: streets, alleys, sidewalks, or public utilities.

Rhythm: Here, the regular recurrence of particular elements such as buildings, windows, or awnings.

Sash: The framework in which panes of glass are set; the movable part of an operable window.

Scale: The relative size of elements.

Screen: To conceal from view.

Setback: Here, the distance a building is sited from the property line.

Siding: Boards, usually wood or vinyl, applied to an exterior wall to create a continuous covering.

Sill: The horizontal member that bears the upright portion of a frame – usually the base of a window.

Street furniture: Additive elements of streetscape improvements, such as light fixtures, benches, trash cans, and planters.

Street line: Here, the front most wall of a building facing onto a street, or the line created by several buildings standing together facing onto a street.

Streetscape: Architectural forms, details, materials, and color that are used in combination to create a visually coordinated street scene.

Stoop: A porch, platform, entrance stairway, or small veranda to enter a building.

Storefront: The ground floor façade of a commercial use adjacent to a sidewalk or internal pathway. Storefront also refers to one of the building type designations that are applied in the design standards.

String course: A horizontal row of bricks or stones, sometimes protruding slightly.

Strip windows: A continuous horizontal band of glazing, such that the structural support for the windows is not apparent on the building exterior.

Transom: A window placed above a door or storefront display window often operable.

Trellis: A frame supporting open latticework used as a screen or a support for growing vines or plants

Trim: Ornamental material, usually wood or metal.

PREPARED BY

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RDG Planning & Design

www.RDGUSA.com
